

Revision to Section 2.9.3 Rules for Square Foot Calculation
Adopted: 01-16-09
(Applies to Custom Homesites)

4. The Maximum Covered Outdoor Area is the square footage of roofed structures whether connected or not to a house. Santaluz encourages maximizing the Covered Outdoor Area. The square footage is calculated based on the roofed area less the area created by the roof overhang dimension.

5. The Total Allowable Building Area is the square footage of the sum of the Maximum Enclosed Building Area and the Maximum Covered Outdoor Area.

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1. The first six (6) inches of exterior wall thickness measured outward from the interior wall surface will be included in the square footage of Enclosed Building Area.

2. The outermost wall and unfinished void space of a double-stud exterior wall shall be included in the square footage of Enclosed Building Area when: the outermost wall is over 24-inches measured outward from the interior wall surface or when a double-stud wall does not contain an opening to justify the double wall thickness. (See Figure 2.1 below)

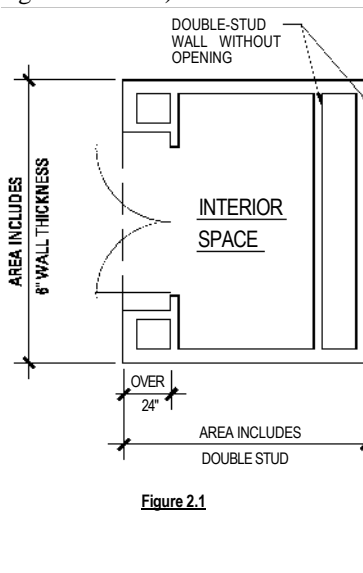


Figure 2.1

3. The square footage occupied by an elevator shall be included only on the first floor level.

4. The square footage of the area below stair treads and landings shall be included once on the first floor level. The square footage of the volume ceiling area above a stairwell (exclusive of the tread and landing area) shall be included on each floor level.

5. The covered outdoor area such as loggias, porches, decks etc. shall be clearly identified. The square footage of these areas shall be calculated separately and excluded in the calculation of the Maximum Enclosed Building Area. All covered outdoor areas used in this calculation must be a minimum of 8'-0" deep, and should be usable. This rule applies to covered outdoor spaces on both the first and second floors. (See Fig. 2.2 below)

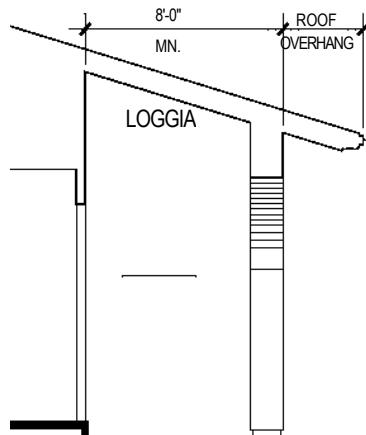


Figure 2.2

6. Towers may not exceed 250 square feet. The square footage of towers shall be included only in the first floor square footage calculation. Towers may include more than two levels.

7. Any 2-story structure having a floor area greater than 250 square feet will

not be considered a tower and the area must be counted as second floor area.

8. Rooms with volume ceilings shall include the horizontal area located twenty (20) feet above the finished floor of a first floor elevation in the second floor square footage calculation.

9. Lightwells exceeding twelve (12) square feet shall be included in the first floor square footage calculation. A maximum of four lightwells are permitted. Lightwells shall be protected with grates.

10. Exterior basement stairs may be approved on a case-by-case basis. However, the square footage of the area they occupy shall be included in the first floor area.

11. Bay windows or architectural projections containing habitable space shall be included in the square footage calculation.

12. The following areas shall be excluded from the square footage calculation of Enclosed Building Area:

- Basements

Note: Basements are defined as usable building areas entirely below finished grade.

- Subterranean garages

Subterranean garages are structures that are located fully beneath the residence. A maximum sixteen (16) feet wide opening at the first floor level for vehicular access is permitted. No exterior ramps are permitted.

- Uncovered exterior stairs, however enclosed areas under stairs must be included in the first floor calculation.

- Fireplaces

Note: Each fireplace may exclude fifteen (15) square feet total.

- Covered Outdoor Areas